



Skamania County

Community Development Department

Building/Fire Marshal ♦ Environmental Health ♦ Planning

Skamania County Courthouse Annex

Post Office Box 1009

Stevenson, Washington 98648

Phone: 509-427-3900 Inspection Line: 509-427-3922

RESIDENTIAL REMODEL PERMIT APPLICATION

* Interior residential remodel and/or additions to Single Family Residence

Complete Residential Remodel Permit Application including a detailed project description and square footage of addition (if applicable).

Additions: If you are changing the footprint of your structure please submit a complete site plan, with all requirements of the Site Plan Checklist.

Interior remodel layout plan; submit a before and after plan of interior remodel, including a detailed description of proposed work.

Submit **three (3)** sets of building plans and engineering.

This form must be completed and submitted with all required documents for the application to be considered complete. Review will not begin on the project until all of the requirements above are submitted.

Reviewed by _____ Complete: Yes _____ No _____ Date: _____



SKAMANIA COUNTY
COMMUNITY DEVELOPMENT DEPARTMENT
 BUILDING/FIRE MARSHAL • ENVIRONMENTAL HEALTH • PLANNING
 SKAMANIA COUNTY COURTHOUSE ANNEX
 POST OFFICE BOX 1009
 STEVENSON, WA 98648
 PHONE: 509-427-3920, INSPECTION LINE: 509-427-3922

RESIDENTIAL REMODEL PERMIT APPLICATION

SITE AND PERMITTEE INFORMATION:

Owner Name: _____ Job Site Address: _____
 Mailing Address: _____ Jobsite City: _____
 City/State/Zip: _____ Parcel #: _____
 Home Phone: _____ Cell Phone: _____
 Email Address: _____

CONTRACTOR INFORMATION:

Contractor: _____ Contact Name: _____
 Contractor License # _____ Phone number: _____

INDICATE NEW CONSTRUCTION ADDITION SQUARE FOOTAGE FOR EACH ITEM LISTED BELOW

Main Floor: _____
 Second Floor: _____
 Third Floor: _____
 Basement: _____
 Garage: _____

USE OF BUILDING:

Remodel	_____
Addition	_____

ADDING NEW: REQUIRED

No. of Bedrooms:	_____
No. of Bathrooms:	_____

WATER SOURCE:

DECKS: (Covered and/or Uncovered **Over** 30" off the ground)

Covered Decks: _____
 Uncovered Decks: _____

FOR INTERIOR REMODELS, PLEASE INDICATE APPROXIMATE COST TO INCLUDE LABOR AND MATERIALS:

SKAMANIA COUNTY COMMUNITY DEVELOPMENT APPROVALS FOR:

Septic: Existing
 Permit Apps submitted

Water: Existing
 Permit App submitted
 Public Water - Letter submitted

PLEASE SPECIFY HOW MANY OF THE FOLLOWING FIXTURES ARE PROPOSED:

Mechanical Fixtures:

- Forced Air Furnace/under 100,000 BTU
- Forced Air Furnace/over 100,000 BTU
- Wall Space Heater & Vents
- Unit Heater (Gas)
- Range Hood
- Clothes Dryer
- Ventilation Fan
- Unclassified Gas Appliance
- Gas Piping (up to 4 outlets)
- Gas Piping (5 or more)
- Heat Pump
- Solid Fuel Burning Appl (wood or pellet stove)
- Other (specify) _____

Plumbing Fixtures:

- Lavatory (Wash Basin)
- Bathtub
- Shower
- Water Closet (Toilet)
- Kitchen Sink & Disposal
- Dishwasher
- Laundry Tray
- Clothes Washer
- Urinal
- Water Heater
- Water piping & treating equipment
- Floor Sink or Drain
- Other (specify) _____

This application/permit is null & void if the work or construction is not commenced within 180 days, or if the work or construction is suspended or abandoned for 180 days of anytime after work is commenced, or if work is not completed within two years from date of issue.

All work shall be done in accord with the approved plans, except such approval is in conflict with other codes. The approved plans shall not be changed or modified without the prior approval of the Building Official.

It is the owners/contractors responsibility to comply with all applicable laws, codes and regulation. SKAMANIA COUNTY makes no assurances or guarantees that the site, lot, soil, grade or other conditions are suitable for the proposed project. Please be advised that, due to the instability of mountainous areas, SKAMANIA COUNTY makes no assurance as to the suitability of any lot or parcel for building purposes.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH. WHETHER SPECIFIED OR NOT, THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

I, _____, _____
 Owners Printed Name Owners Signature

as shown by their signature hereto, designates _____
 (Name of Agent/Contractor)

(if applicable) to act as their agent as to all issues having to do with the building permit at:

_____ Date
 Physical address of project

SKAMANIA COUNTY

MINIMUM DESIGN CRITERIA REQUIREMENTS

SEISMIC ZONE – D1

REQUIRED GROUND SNOW LOAD:

72# psf. / higher elevation - 100# psf

REQUIRED ROOF SNOW LOAD:

50# psf. live load / higher elevation - 70# psf live load

WIND LOAD:

135 mph at three (3) second gusts, (exposure B or C to be determined by your engineer)

FROST DEPTH:

Single story 12”

Two story 18”

2018 IBC, IRC, IMC, IPC, IFC

SETBACKS:

Are administrated by the Department of Planning and Community Development. The Building Department may have additional setback requirements.

NATIONAL SCENIC AREA:

Is administrated by the Department of Planning and Community Development.

WASHINGTON STATE ENERGY CODE:

The 2018 code will go into effect July 1, 2020. Any residential structures permitted on or after this date must meet the requirements of the 2018 code.

For energy code worksheets, please go to:

<http://www.energy.wsu.edu/BuildingEfficiency/EnergyCode.aspx#EnergyCodeWorksheets>

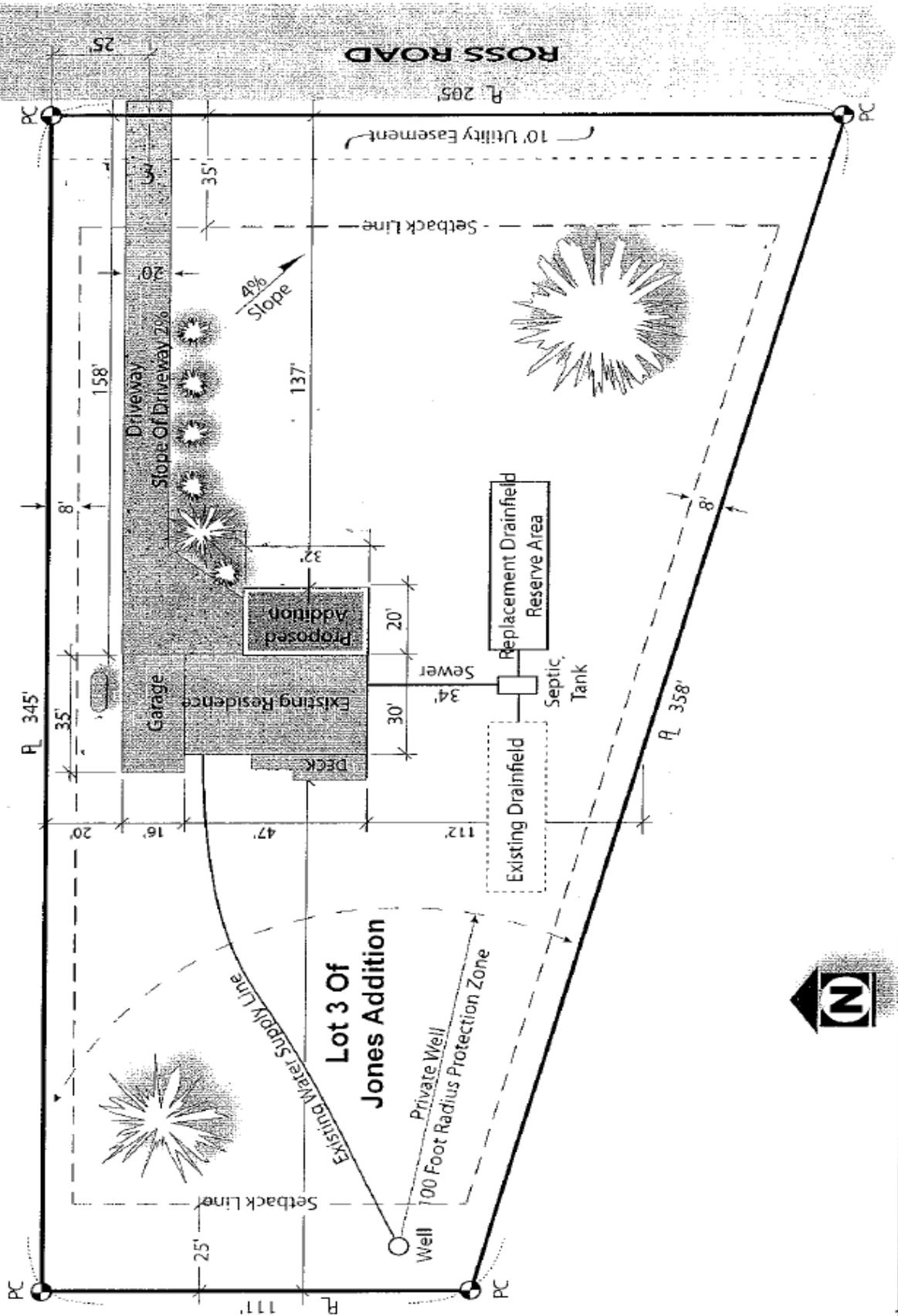
Site Plan Checklist

The application will NOT be accepted unless all points below are addressed.

The applicant may also submit (in addition to the site plan showing the entire parcel(s)), a more detailed drawing of the area(s) that will be affected by the proposal. Site plans that are overcrowded with information and those that are illegible will be returned to the applicant to be redrawn.

<input type="checkbox"/> North arrow	<input type="checkbox"/> Property address
<input type="checkbox"/> Tax parcel number(s) for all affected parcels	<input type="checkbox"/> Site plan scale (ex: 1"=50')
<input type="checkbox"/> Name of applicant and property owner (if different)	<input type="checkbox"/> Location, depth, and extent of all clearing, grading & filling
<input type="checkbox"/> Boundaries, lines showing the dimensions, and size of subject parcel(s)	<input type="checkbox"/> Location and dimensions of any dedicated easements on or adjacent to the property
<input type="checkbox"/> Location of all existing and proposed structures, including dimensions and distances from property lines, other structures and critical areas (measurement is from the eve of the structure).	<input type="checkbox"/> Location of existing on-site septic system components, including tanks, drainfields (include dimensions for primary and reserve), pretreatment units and their distance to structures and property lines
<input type="checkbox"/> Show general topography of the property and direction of natural drainage, significant terrain features or landforms (ex: top/toe of slope, rock outcroppings).	<input type="checkbox"/> Location of all proposed wells and the 100' wellhead protection area radius for each
	<input type="checkbox"/> Show all existing and proposed underground or above ground storage tanks.
<input type="checkbox"/> Clearly identify and label the location and names of all existing and proposed roads, on or bordering the property. Show all proposed and existing driveways, trails, and parking areas on the parcel.	<input type="checkbox"/> Any critical areas designated under the County's Critical Areas Ordinance, if known, located on or adjacent to the property (ex: landslides, wetlands, water bodies, watercourses, or possible flood zones)
<input type="checkbox"/> Location of all wells or drinking water sources and their well head protection areas within 100 feet of the property lines (if known)	<input type="checkbox"/> Any additional information which the applicant feels will assist in evaluating the proposal (ex: maps, drawings, photos, and plans.

TYPICAL SITE PLAN EXAMPLE



Name: JOHN R. DOE	Address: 12345 Ross Road Stevenson, WA	Scale: 1" = 40' Date: 10/4/2006
Site Address: 12345 ROSS ROAD	Property ID#: 02-12-01-0-0-0111-00	

SITE PLAN

*Use this template or attach a separate site plan drawing.

		Scale used:	
		Date:	
Name:	Site Address:	Tax Parcel Number:	
Mailing Address:			