



# Skamania County

## Community Development Department

Building/Fire Marshal ♦ Environmental Health ♦ Planning

Skamania County Courthouse Annex

Post Office Box 1009

Stevenson, Washington 98648

Phone: 509-427-3900 Inspection Line: 509-427-3922

### **BUILDING PERMIT INTAKE CHECKLIST**

This form must be completed and submitted with all required documents for the application to be considered complete. Review will not begin on the project until all of the requirements below are submitted.

- Complete Building Permit Application including a detailed project description. **Must have property owners' signature. (Required)**
  
- Site Plan; submit a complete site plan, **with all requirements of the Site Plan Checklist. (Required)**
  
- Submit three (3) sets of building plans (11x17) & Engineering. **All building plan checklists have been addressed and design criteria is correct on plans (Required)**
  
- Energy Code Worksheet. *(If applicable)*
  
- Proof of water (if applicable); a letter stating availability of water if on a Public Water System OR proof of potable water (Submit a W.A.V. Application).
  
- Septic (if applicable); have submitted On-Site Septic Design application and/or have approved On-Site Septic Design permit.
  
- Addressing (if applicable); provide county issued physical address OR have submitted addressing permit application.

Reviewed by \_\_\_\_\_ Complete: Yes \_\_\_\_\_ No \_\_\_\_\_ Date: \_\_\_\_\_



**SKAMANIA COUNTY**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
 BUILDING/FIRE MARSHAL • ENVIRONMENTAL HEALTH • PLANNING  
 SKAMANIA COUNTY COURTHOUSE ANNEX  
 POST OFFICE BOX 1009  
 STEVENSON, WA 98648  
 PHONE: 509-427-3920, INSPECTION LINE: 509-427-3922

**BUILDING PERMIT APPLICATION**

**SITE AND PERMITTEE INFORMATION:**

Owner Name: \_\_\_\_\_ Job Site Address: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_ Jobsite City: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_ Parcel #: \_\_\_\_\_  
 Home Phone: \_\_\_\_\_ Cell Phone: \_\_\_\_\_  
 Email Address: \_\_\_\_\_

**CONTRACTOR INFORMATION:**

Contractor: \_\_\_\_\_ Office Phone: \_\_\_\_\_  
 Contractor License #: \_\_\_\_\_ Cell Phone: \_\_\_\_\_

**INDICATE NEW CONSTRUCTION, SQUARE FOOTAGE FOR EACH ITEM LISTED BELOW**

Main Floor: \_\_\_\_\_  
 Second Floor: \_\_\_\_\_  
 Third Floor: \_\_\_\_\_  
 Basement: \_\_\_\_\_  
 Garage: \_\_\_\_\_

USE OF BUILDING:	
New SFR	_____
Addition	_____
Repair	_____
Garage	_____
Carport	_____
Deck	_____

**INDICATE:**  
 No. of Bedrooms: \_\_\_\_\_  
 No. of Bathrooms: \_\_\_\_\_

**REQUIRED**


**WATER SOURCE:**

DECKS: (Covered and/or Uncovered **Over** 30" off the ground)  
 Covered Decks: \_\_\_\_\_  
 Uncovered Decks: \_\_\_\_\_

Other: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**SKAMANIA COUNTY COMMUNITY DEVELOPMENT APPROVALS FOR:**

Septic:  Existing  
 Permit Apps submitted

Water:  Existing  
 Permit App submitted  
 Public Water - Letter submitted

**PLEASE SPECIFY HOW MANY OF THE FOLLOWING FIXTURES ARE PROPOSED:**

**Mechanical Fixtures:**

- Forced Air Furnace/under 100,000 BTU
- Forced Air Furnace/over 100,000 BTU
- Wall Space Heater & Vents
- Unit Heater (Gas)
- Range Hood
- Clothes Dryer
- Ventilation Fan
- Unclassified Gas Appliance
- Gas Piping (up to 4 outlets)
- Gas Piping (5 or more)
- Heat Pump
- Solid Fuel Burning Appl (wood or pellet stove)
- Other (specify) \_\_\_\_\_

**Plumbing Fixtures:**

- Lavatory (Wash Basin)
- Bathtub
- Shower
- Water Closet (Toilet)
- Kitchen Sink & Disposal
- Dishwasher
- Laundry Tray
- Clothes Washer
- Urinal
- Water Heater
- Water piping & treating equipment
- Floor Sink or Drain
- Other (specify) \_\_\_\_\_

This application/permit is null & void if the work or construction is not commenced within 180 days, or if the work or construction is suspended or abandoned for 180 days of anytime after work is commenced, or if work is not completed within two years from date of issue.

All work shall be done in accord with the approved plans, except such approval is in conflict with other codes. The approved plans shall not be changed or modified without the prior approval of the Building Official.

It is the owners/contractors responsibility to comply with all applicable laws, codes and regulation. SKAMANIA COUNTY makes no assurances or guarantees that the site, lot, soil, grade or other conditions are suitable for the proposed project. Please be advised that, due to the instability of mountainous areas, SKAMANIA COUNTY makes no assurance as to the suitability of any lot or parcel for building purposes.

**I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH. WHETHER SPECIFIED OR NOT, THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.**

I, \_\_\_\_\_, \_\_\_\_\_  
 Owners Printed Name Owners Signature

as shown by their signature hereto, designates \_\_\_\_\_  
 (Name of Agent/Contractor)

(if applicable) to act as their agent as to all issues having to do with the building permit at:

\_\_\_\_\_ Date  
 Physical address of project

# SKAMANIA COUNTY

## MINIMUM DESIGN CRITERIA REQUIREMENTS

**SEISMIC ZONE – D1**

**REQUIRED GROUND SNOW LOAD:**

72# psf. / higher elevation - 100# psf

**REQUIRED ROOF SNOW LOAD:**

50# psf. live load / higher elevation - 70# psf live load

**WIND LOAD:**

135 mph at three (3) second gusts, (exposure B or C to be determined by your engineer)

**FROST DEPTH:**

Single story 12”

Two story 18”

**2018 IBC, IRC, IMC, IPC, IFC**

**SETBACKS:**

Are administrated by the Department of Planning and Community Development. The Building Department may have additional setback requirements.

**NATIONAL SCENIC AREA:**

Is administrated by the Department of Planning and Community Development.

**WASHINGTON STATE ENERGY CODE:**

The 2018 code will go into effect July 1, 2020. Any residential structures permitted on or after this date must meet the requirements of the 2018 code.

**For energy code worksheets, please go to:**

<http://www.energy.wsu.edu/BuildingEfficiency/EnergyCode.aspx#EnergyCodeWorksheets>

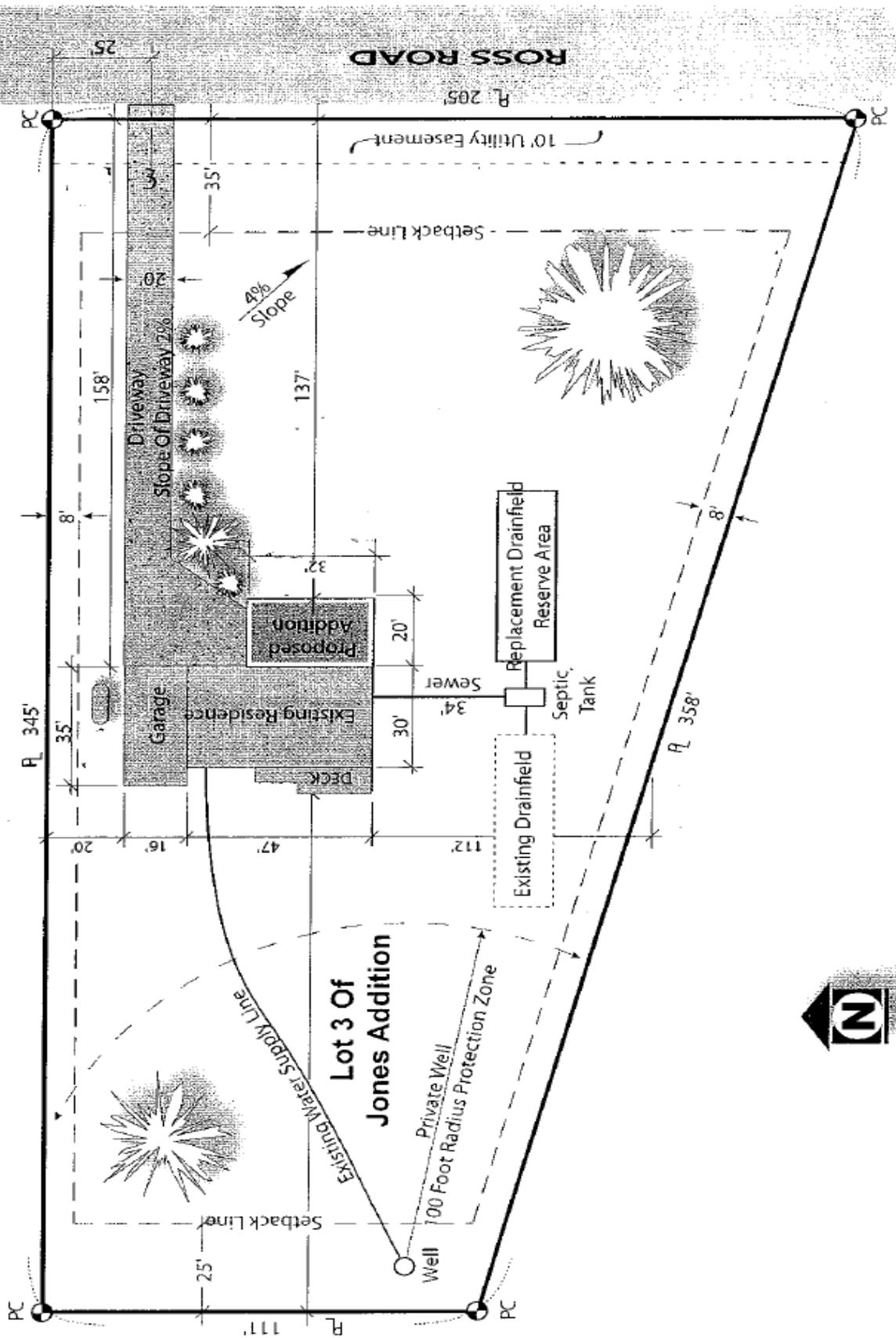
## Site Plan Checklist

**The application will NOT be accepted unless all points below are addressed. This checklist MUST be submitted with the site plan and application. The site plan must be drawn in ink.**

The applicant may also submit (in addition to the site plan showing the entire parcel(s)), a more detailed drawing of the area(s) that will be affected by the proposal. *Site plans that are overcrowded with information and those that are illegible will be returned to the applicant to be redrawn.*

<input type="checkbox"/> North arrow	<input type="checkbox"/> Property address
<input type="checkbox"/> Tax parcel number(s) for all affected parcels	<input type="checkbox"/> Site plan scale (ex: 1"=50')
<input type="checkbox"/> Name of applicant and property owner (if different)	<input type="checkbox"/> Location, depth, and extent of all clearing, grading & filling
<input type="checkbox"/> Boundaries, lines showing the dimensions, and size of subject parcel(s)	<input type="checkbox"/> Location and dimensions of any dedicated easements on or adjacent to the property
<input type="checkbox"/> Location of all existing and proposed structures, including dimensions and distances from property lines, other structures and critical areas (measurement is from the eve of the structure).	<input type="checkbox"/> Location of existing on-site septic system components, including tanks, drainfields (include dimensions for primary and reserve), pretreatment units and their distance to structures and property lines
<input type="checkbox"/> Show general topography of the property and direction of natural drainage, significant terrain features or landforms (ex: top/toe of slope, rock outcroppings).	<input type="checkbox"/> Location of all proposed wells and the 100' wellhead protection area radius for each
	<input type="checkbox"/> Show all existing and proposed underground or above ground storage tanks.
<input type="checkbox"/> Clearly identify and label the location and names of all existing and proposed roads, on or bordering the property. Show all proposed and existing driveways, trails, and parking areas on the parcel.	<input type="checkbox"/> Any critical areas designated under the County's Critical Areas Ordinance, if known, located on or adjacent to the property (ex: landslides, wetlands, water bodies, watercourses, or possible flood zones)
<input type="checkbox"/> Location of all wells or drinking water sources and their well head protection areas within 100 feet of the property lines (if known)	<input type="checkbox"/> Any additional information which the applicant feels will assist in evaluating the proposal (ex: maps, drawings, photos, and plans.

# TYPICAL SITE PLAN EXAMPLE



<p>Name: JOHN R. DOE</p>	<p>Address: 12345 Ross Road Stevenson, WA</p>	<p>Scale: 1" = 40'</p>
<p>Site Address: 12345 ROSS ROAD</p>	<p>Property ID#: 02-12-01-0-0-0111-00</p>	<p>Date: 10/4/2006</p>

# SITE PLAN

\*Use this template or attach a separate site plan drawing.

		Scale used:	
		Date:	
Name:	Site Address:	Tax Parcel Number:	
Mailing Address:			



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Building/Fire Marshal • Environmental Health • Planning  
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Post Office Box 1009 | Stevenson, Washington 98648  
Phone: 509-427-3900 Inspection Line: 509-427-3922

Welcome to Skamania County Building Divisions Permit Application process. In an effort to make the completion of the application and related information simple and as timesaving as possible, we have included a check off list to assist you.

If you have any questions, feel free to call us at (509) 427-3900.

### ➤ *Application*

- Owner's Name, mailing address & phone number, parcel number and/or physical address for the job site.
- Contractor's name, phone number and Washington Contractor License number and expiration date.
- Indicate square footage for all new construction or provide a description of work to be permitted. Include any decks (covered or uncovered).
- Specify how many of each mechanical and plumbing fixtures being proposed.

### ➤ *Plans – 3 sets (preferably 18 x 24). MUST INCLUDE A MINIMUM OF:*

**NOTE: FAILURE TO ADDRESS ALL REQUIRED DETAILS ON ALL SUBMITTED PLANS MAY RESULT IN THE RETURN OF PLANS FOR COMPLETION. SEE THE FORM: "DETAILS TO LOOK FOR ON YOUR BUILDING PLANS BEFORE SUBMITTAL".**

- Foundation plan – indicate type of construction being used, showing size of footing with rebar, stemwall with rebar, retaining walls and pier pads. Also indicate size and spacing of girders and/or floor joists and indicate type of sub-flooring.
- Floor plan – Show floor plan of each floor, including basement. Show use of all rooms or areas. Also show size and location of all windows, wall openings and stairs.
- Roof plans – Show size and spacing of rafters and beams, sheathing and roofing materials. If using trusses, you must submit the truss design with a Washington Engineer's stamp on it prior to installation.
- Elevation – Show elevation of all four (4) views. Show grade and vertical dimensions.
- Section and Details – Show framing (size and spacing), covering materials, insulation, special beam size and connections and/or anchors, and any other data sufficient to show the correctness of the plans.

- Fees: The balance of the permit fee is due at the time the building permit is issued.
- Duration of permit:
  - Allow a *minimum* of three (3) weeks for permit approval.
  - The permit is good for 180 days from issuance or date of last inspection
  - In the event the project is canceled and no inspections have been made, the owner may request in writing a refund of 80% of the building permit fee prior to the expiration of the permit. If construction is halted due to weather conditions, you can request in writing for an extension of 180 days
- Washington State Energy Code Compliance Forms and Worksheets
- Some properties are located in the Columbia River Gorge National Scenic Area. If this is the case you will need to acquire the proper permits. Contact the Skamania County Planning Division for more details.
- A site plan is required to be submitted with the building permit application for review by the Planning Department. Refer to the site plan checklist included in the building permit application packet for the full list of requirements.
- Proof of septic permit and proof of drinkable water will need to be provided prior to permit being issued. Contact the Environmental Health Department for more information.
- Approach and addressing: If you do not have an approach installed on your property or a County assigned physical address, please complete a County Road Permit Application.
- Mail box: In order to lessen the risk of damage to your mailbox during snow removal and road maintenance operation, please follow the instructions for mailbox installation.
- Fire Hydrants
  - NOTE that some parcels in Skamania County, which are serviced by a Public Water System, may require the installation of a fire hydrant.

Thank you for taking the time to provide us with the information we need to process you permits.

Skamania County Building Division

### **ATTENTION!**

Federal, state and local asbestos regulations require you to contact the Southwest Clean Air Agency and file inspection and notification documents at least 10 business days prior to beginning the demolition or renovation of any structure that may contain asbestos.

1-800-633-0709

# SKAMANIA COUNTY DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

## **IMPORTANT**

When requesting a building permit for a project located within the COLUMBIA RIVER GORGE SCENIC AREA, an approval of the project by the Skamania County Department of Planning and Community Development must be obtained PRIOR to a building permit being issued.

### **SETBACK REQUIREMENTS**

- (1) A “setback” is a distance from a given property line or point that a building must be placed, setback distances vary according to zoning, road rights-of-way and other criteria.
- (2) Costly mistakes have occurred do to the improper placement of a structure within the required setbacks.
- (3) CHECK WITH THE DEPARTMENT OF PLANNING TO PREVENT THESE MISTAKES.

### **IMPORTANT TAX-BREAK INFORMATION**

The Assessor’s Office has asked that we pass on the following information to you. When you construct an addition onto a single-family residence, you are allowed a tax-break for a period of three years, PROVIDED:

- (1) You must file a “Notice of Intent to Construct” prior to the improvement being made.
- (2) The improvement represents 30% or less of the original value of the structure.
- (3) The exemption cannot be claimed more than once in a five-year period.
- (4) The tax-break states after you file a “Notice of Completion” with the Assessor’s Office. Otherwise you will be taxed at the regular rate.

PLEASE CALL THE ASSESSOR’S OFFICE FOR ADDITIONAL INFORMATION AT:  
(509) 427-3720

# **CAUTION**

## **TO**

### **HOMEOWNERS AND BUILDERS**

The information below is provided for those prospective homebuilders that may be hiring a general or specialty contractor.

- (1) If a contractor fails to register as a general contractor or specialty contractor it could result in the homeowner having no legal recourse against any contractor or sub-contractor or his surety bond if faulty or improper work is performed.
- (2) If a homebuilder hires or enters into a contract with an unregistered contractor, the homebuilder could be held responsible for wages, taxes, materials, industrial insurance, liens, or any other financial responsibilities incurred; even though the homebuilder has already paid the contractor for these services.
- (3) Persons representing themselves, as contractors will be able to provide a current Washington State Contractor's Registration Card verifying that they are registered.
- (4) If the homeowner wants to verify that the contractor is registered you can call the State Contractor's Registration Section toll free at (800) 647-0982 or write to the Department of Labor and Industries, Contractor's Section, P.O. Box 207, Olympia, WA 98504.

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Signature of Owner/Contractor

# ATTENTION CONTRACTOR'S AND OWNER BUILDER

## DETAILS TO LOOK FOR ON YOUR BUILDING PLANS BEFORE SUBMITTAL

The partial list of details below and any other details that maybe required for your particular project must be included on all submitted plans.

**DESIGN CRITERIA MUST BE SHOWN ON A COVER SHEET!! PLANS WILL BE REJECTED IF THIS IS NOT SUBMITTED WITH PLANS.**

**The lack of a completed set of plans addressing all requirements MAY CAUSE DELAYS IN PROCESSING.**

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### GENERAL

- \_\_\_ 1. Need to submit three (3) sets of complete plans along with truss detail at time application is submitted.
- \_\_\_ 2. Put job address and owner name on plans and all related information.
- \_\_\_ 3. Submit fully dimensioned plot plan (see typical site plan form for additional information needed).
- \_\_\_ 4. Show on plans all header sizes, shear walls, brace panels and complete stair detail.
- \_\_\_ 5. Show on plans heat source and location of heat source.

### FOUNDATIONS

- \_\_\_ 6. Specify concrete strength on plans.
- \_\_\_ 7. Provide footings with a minimum depth below finish / natural grade of \_\_\_ inches.
- \_\_\_ 8. Provide stepped footings as per code.
- \_\_\_ 9. Specify foundation grade redwood, foundation grade cedar or approved pressure-treated foundation plates and sills.
- \_\_\_ 10. Bolt foundation plates and sills to the foundation with 1/2" dia. X 10" long anchor bolt with nut and washer (washer size must be 2"x2"x3/16") @ 6 ft. o.c.
- \_\_\_ 11. Provide under-floor ventilation equal to 1 sq. ft. of net opening for each 150 sq. ft. of under-floor area. Ventilation openings shall be approximately equally distributed on at least two opposite sides.
- \_\_\_ 12. Specify at least a 3 1/2" thickness of concrete floor slabs on grade.
- \_\_\_ 13. Specify pier sizes and provide foundation sections.
- \_\_\_ 14. Provide 18" x 24" under-floor access opening.
- \_\_\_ 15. Provide under-floor clearance as specified in code.

### FRAMING

- \_\_\_ 16. Specify wood species and lumber grade for horizontal and vertical framing lumber.
- \_\_\_ 17. Specify panel span rating for plywood sub-floor and roof sheathing.
- \_\_\_ 18. Specify the grade and thickness of particleboard roof and sub-floor sheathing.
- \_\_\_ 19. Provide wall bracing which is required at corners and 25" on center.

- \_\_\_ 20. Provide approved fireblocking in walls as specified in code.
- \_\_\_ 21. Provide approved draftstopping in the concealed space between the ceiling and floor above as specified in code.
- \_\_\_ 22. Show double top plates at top of stud walls.
- \_\_\_ 23. Specify size of headers for openings over 4" – 0" wide.
- \_\_\_ 24. Provide 22" x 30" (30" x 30") minimum scuttle to attic. (Mechanical Code)
- \_\_\_ 25. Specify floor joist spans.
- \_\_\_ 26. Specify ceiling joist spans.
- \_\_\_ 27. Specify roof rafter spans.
- \_\_\_ 28. Floor joists shall be supported laterally at the ends and at each support by solid blocking.
- \_\_\_ 29. Roof trusses shall be supported laterally at points of bearing by solid blocking.
- \_\_\_ 30. Purlins and struts shall be supported by bearing walls.
- \_\_\_ 31. Provide rafter ties where ceiling joists and rafters are not parallel.
- \_\_\_ 32. Provide double joists under parallel bearing partitions.
- \_\_\_ 33. Provide a structural section which shows typical framing conditions for this project.

**LIGHT, VENTILATION AND ROOMS DIMENSIONS**

- \_\_\_ 34. provide exterior glazed openings for natural light (openable exterior openings for the natural ventilation) in the following rooms as specified in the code.
- \_\_\_ 35. Where mechanical ventilation is used on rooms containing a shower or tub and in laundry rooms provide five air changes per hour directly to the outside as recirculating fans are allowed only for rooms with a lavatory or water closet.
- \_\_\_ 36. Provide a 7' 6" (7' 0") minimum ceiling height in habitable rooms.
- \_\_\_ 37. Minimum room sizes 70 sq. ft. with 7 foot minimum width; one 120 sq. ft. room required.
- \_\_\_ 38. Eaves over required openings providing light and ventilation not to project closer than 30" to property line, also shall meet Planning Department set backs.

**GARAGE**

- \_\_\_ 39. Openings are not allowed from garages into rooms used for sleeping purposes.
- \_\_\_ 40. Finish garage side of walls and ceiling adjacent to or under dwelling with materials approved for one-hour fire resistance.
- \_\_\_ 41. Tight-fitting 1-3/8" solid wood or 20 minute rated door for opening between garage and dwelling.
- \_\_\_ 42. Show garage framing. Wing wall detail.
- \_\_\_ 43. Show size of header over garage door opening.

**EXIST AND SMOKE DETECTORS**

- \_\_\_ 44. Doors: Exterior doors must have landings not more than 7 3/4" lower than floor level and the door may not swing over landing.
- \_\_\_ 45. Stairways: Min. rise 4", Max rise 7 3/4", min. run 10", max. variance in riser-height 3/8", min. headroom 6' 8".
- \_\_\_ 46. Provide a graspable handrail for stairways on at least one side. Return ends of handrails or terminate in a newel post. Handrails shall not be less than 34" nor more than 38" above the nosing of treads.
- \_\_\_ 47. All sleeping rooms must have escape or rescue windows, shall have a minimum net clear openable area of 5.7 square feet (0.53m). The minimum net clear openable height dimension shall be 24 inches (610 mm). The minimum net clear openable width dimension shall be 20 inches (508 mm). When windows are provided as a

means of escape or rescue, they shall have a finished sill height not more than 44 inches (1118 mm) above the floor.

Escape and rescue windows with a finished sill height below the adjacent ground elevation shall have a window well. Window wells at escape or rescue windows shall comply with the following:

1. The clear horizontal dimensions shall allow the window to be fully opened and provide a minimum accessible net clear opening of 9 square feet (0.84 m), with a minimum dimension of 36 inches (914 mm).
2. Window wells with a vertical depth of more than 44 inches (1118 mm) shall be equipped with an approved permanently affixed ladder or stairs that are accessible with the window in the fully open position. The ladder or stairs shall not encroach into the required dimensions of the window well by more than 6 inches (152 mm).

\_\_\_ 48. In dwelling units, a detector shall be installed in each sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. When the dwelling unit has more than one story and in dwellings with basements, a detector shall be installed on each story and in the basement. In dwelling units where a story or basement is split into two or more levels, the smoke detector shall be installed on the upper level, except that when the lower level contains a sleeping area, a detector shall be installed on each level. When sleeping rooms are on an upper level, the detector shall be placed at the ceiling of the upper level in close proximity to the stairway. In dwelling units where the ceiling height of the room open to the hallway serving the bedrooms exceeds that of the hallway by 24 inches (610 mm) or more, smoke detectors shall be installed in the hallway and in the adjacent room. Detectors shall sound an alarm audible in all sleeping areas of the dwelling unit in which they are located.

\_\_\_ 49. Provide 36" min. high guardrails on balconies, porches and landings more than 30" above grade, with railing such that a 4" sphere cannot pass through.

#### **WEATHER PROTECTION**

\_\_\_ 50. Provide an approved weather-protective barrier under wood siding.

\_\_\_ 51. Specify an approved flashing for exterior openings. Min. 26 gauge gal. Sheet metal.

\_\_\_ 52. Waterproof balconies, landings, exterior stairways and similar surfaces exposed to the weather and sealed underneath.

\_\_\_ 53. Damp proof foundation walls enclosing a basement below finished grade by an approved method.

\_\_\_ 54. Roof covering shall be as found in Table No. 15-A and as classified in Section 1504.

\_\_\_ 55. Specify method of anchorage for roofing material must meet 90 mph wind requirements.

\_\_\_ 56. Install masonry veneer. Provide details to show how veneer will be attached to supporting structure.

\_\_\_ 57. Provide complete details for construction of fireplace and chimney.

\_\_\_ 58. Post approved numbers or address on the dwelling. Address shall be plainly visible and legible from the street or road fronting the dwelling.

\_\_\_ 59. Provide every dwelling with approved heating facilities.

\_\_\_ 60. Show water heater location.

\_\_\_ 61. Show how water heater and furnace will be provided with combustible air.

\_\_\_ 62. Safety glazing provided